

# Milwaukee Avenue Homeowners Association (MAHA) **ARCHITECTURAL GUIDELINES**

..... *Prepared by the Architectural Review Committee (ARC)* .....



1972



NOW

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REVISED  
OCTOBER 2013

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Welcome to your guide to maintaining what we love about living in the Milwaukee Avenue Historic District!

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*A few opening thoughts:*

**We're in this together.** The guidelines that follow are intended to inform Milwaukee Avenue Homeowners Association residents—that likely means you—about appropriate materials, practices and other considerations to maintain the integrity, character and charm of the Milwaukee Avenue historic district. Each property, without exception, contributes to what is special about the neighborhood.

**We choose to live here.** Something—the neighborhood's sense of community, historical character, the pedestrian mall, a particular housing type, proximity to transit and the river, affordability—brought each of us here. Let's keep what we love about the Milwaukee Avenue historic district, and do what we can to improve it.

**We really do live here.** We understand that homes have a life and must evolve and adapt to the needs of the people who occupy them. The guidelines take into account today's needs and developing technologies. That means features such as skylights and Solatubes are permitted, though their placement is contained to maintain visual harmony.

**We want to continue to live here.** Historically appropriate materials often cost more or take extra effort to procure and maintain than standard, off-the-shelf varieties. Sometimes the expense is worth it, especially if it maintains the home's—and district's—architectural integrity; at other times, a substitution may be appropriate. Work with the Architectural Review Committee to help you sort out your options.

**Real estate value matters.** A wise choice of building materials and skilled craftsmanship provided quality when our homes were originally built. This quality enhances our lives, our real estate values, along with those of our neighbors. Let's work together to keep our neighborhood a desirable place in which to own or rent a home.

**Materials matter.** In general, preservationists prefer real wood, glass, brick, etc., to materials that mimic them. Occasionally, new materials can be appropriate—superior, even—to traditional materials. But they often lack the character and patina that vintage wood doors and windows have. Again, work with the ARC on selecting materials and/or appropriate substitutions.

**Proportions matter.** The scale of each home was thoughtfully conceived when the neighborhood originally took shape. How each element relates to the totality, and to the surrounding structures, is key in creating the unified architectural expression we enjoy here. Maintaining that type of uniformity—while fostering personal expression—is a primary objective of these guidelines.

**Style matters.** Our homes are simple vernacular architecture of the late 19th and early 20th century. They're not Victorian, Craftsmen, high Victorian or Colonial. Several houses have elements of Greek Revival, mainly in the porch columns. The architectural integrity of the historic district comes from preserving our homes' unique original character in relationship to surrounding properties, not layering on new architectural forms.

Also important, these guidelines will protect the area's houses from being given a history they never had.

**Greatest care goes to permanent changes.** The notion of retrievability, or the ability to undo alterations, is central to architectural preservation. Paint colors are retrievable, in that surfaces can readily be repainted. New structures, replaced windows, bays and bump-outs, etc., are mostly here to stay. With some exceptions, these guidelines largely focus on changes that will be difficult or impossible to undo.

**“But it was this way when we moved in.”**

Over the district’s history, MAHA homeowners and the ARC haven’t always operated with a unified preservationist ethos. As a result, alterations have been made that might not pass muster today. The ARC is not suggesting a need for retroactive changes; however, should you find yourself wanting to replace like with like, make a proposal to the ARC. Together, we’ll find a solution that’s appropriate to the district today.

**Maintain, repair, restore—then replace.** The intention of historic preservation is to preserve and re-use original materials with their original dimensions and design profiles, to the greatest extent possible. Whether your home is 100+ years old, or was built in the 1970s, it will best adapt to the demands of time with regular maintenance and thoughtful repair. Our bias is to strongly recommend all efforts be taken to maintain the original features of homes—unless a better solution exists.

**We hope this document is less about restrictions, and more about options.**

As one former Milwaukee Avenue homeowner once remarked, “History is the record of change.” These guidelines are intended to provide a workable basis to inform homeowners, their design professionals and contractors about ways to make appropriate choices for architectural design features. Materials and methods form the basis for these references.

**It’s a balancing act.** We neither want to live in the Disneyland Celebration community, nor do we want to suffer death by 1,000 cuts. Following these guidelines will steer us clear of either shore.

**Every home is special.** These guidelines cannot possibly address every home maintenance need or homeowner desire. Please consider them in the spirit in which they were written—as a reference tool. The ARC retains the latitude to make decisions on a case-by-case basis.

In most cases, deteriorated material in areas prone to disrepair (at base of columns and entry doors, for instance) can be repaired, rather than replaced, by homeowners or contractors with rehabilitation experience.

Without too much trouble, but with some forethought, homeowners are typically able to improve their properties while maintaining the historic character and real estate value of the Milwaukee Avenue historic district and four-block area.

# The Milwaukee Avenue Historic District is a workingman's neighborhood.

Developed in the late 19th century, it was packed with standard issue cottages for immigrant laborers, later filled by families. It was never, ever fancy. By the 1970s, it became downright woebegone, a prime candidate for knock-it-all-down urban renewal. Fortunately, the neighborhood rallied to protect Milwaukee Avenue, preserving and restoring many homes while adding new ones that fit right in.

Today, the old avenue is one of the city's treasures. Residents and visitors know there's something special in the human scale of the houses, the front porches, the fenced-in yards and the pedestrian-only street. Moving forward, residents should work to protect what they love about their historic district, taking care to sensitively adapt their homes to modern ways of living while remembering they were never designed to be grand or opulent.

—**LARRY MILLETT** > Architecture critic and author of *AIA Guide to the Twin Cities, Once There Were Castles: Lost Mansions and Estates of the Twin Cities*, and *Lost Twin Cities*

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## ACKNOWLEDGEMENTS

Many thanks to preservation architect Robert Roscoe, whose knowledge of and passion for the historic district knows no bounds, who took on these revisions with gusto and who can whip up beautiful drawings in no time flat; Jade Zurn and Chuck Levin, who contributed their architectural expertise and neighborhood experience to the development of these guidelines; Heidi Miller, whose graphic design work made these guidelines clear and cohesive; Lynn Brofman, Carol Carrier, Susan De Young, Lucy Gerold and Claudia Rhodes, members of the ARC who provided thoughtful feedback; and all the MAHA homeowners—past, present and future—who make this neighborhood our home.

—**DIANE RICHARD** > ARC chair

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*Dedicated in memory of Claudia Rhodes, MAHA resident and ARC member, whose life was cut short while pursuing a dream on two wheels.*

# Your Key to This Guide

MAHA residents fall in four housing types, with differing ARC requirements.

Find your house and follow the color as a guide through this document.

	<b>MEMBER RESIDENCES</b>
	<b>NON-MEMBER</b>
	<b>MILWAUKEE AVENUE</b>
	<b>DEFINED BY HPC (12/2005)</b>
	<b>BRICK WORKER'S</b>
	<b>FOUR BLOCK</b>
	



## GENERAL NOTES

- Exterior architectural elements in public view will be given primary importance, with other parts of houses given less consideration. Review shall be limited to exteriors only, except to say that window treatments that dramatically diminish a façade should be avoided.
- Almost all exterior materials existing in the houses on Milwaukee Avenue and in the four-block area are replacements of original 19th-century/early 20th-century construction materials. Such architectural replacements occurred in the extensive 1970s rehabilitation of these houses and in subsequent work. Nonetheless, **the word “original” will be used to describe the materials now in place that replicate materials and design of the initial 19th-century construction.** In some cases, certain design elements have been added that vary from original, but over time have become part of the historic fabric of the houses. Also, certain materials have been installed in isolated instances subsequent to 1970s rehabilitation that are non-conforming to original.

MAHA strongly encourages property owners to perform regular maintenance on their houses, fences and landscaping.

- Replacement or reinstallation of missing original ornament is strongly encouraged. If original materials are too deteriorated to repair satisfactorily, any necessary replacement shall use the same material with identical or closely compatible architectural profiles. For example, wood trim shall be replaced with wood of an appropriate species and matching profile. No substitute material shall be permitted, except as noted within these guidelines. No material that imitates wood-grain patterns or any other original material shall be permitted.
- Those nonconforming materials and design elements as noted above need not be replaced for compliance. However, if an exterior project requires a building permit, MAHA will use the opportunity to restore the nonconforming feature to compliance.

### ! PLEASE NOTE:

Though efforts to conform with Heritage Preservation Commission (HPC) standards were made in the preparation of these guidelines, the HPC has final authority to approve or decline proposed alterations to properties within the historic districts of Minneapolis.

### OTHER USEFUL TOOLS:

[ARC flow chart](#)

[ARC proposal submission PDF](#)

<http://milwaukeeavenue.net/resident-information/architecture-guidelines/>

[Heritage Preservation Commission](#)

[http://www.ci.minneapolis.mn.us/hpc/hpc\\_forms](http://www.ci.minneapolis.mn.us/hpc/hpc_forms)

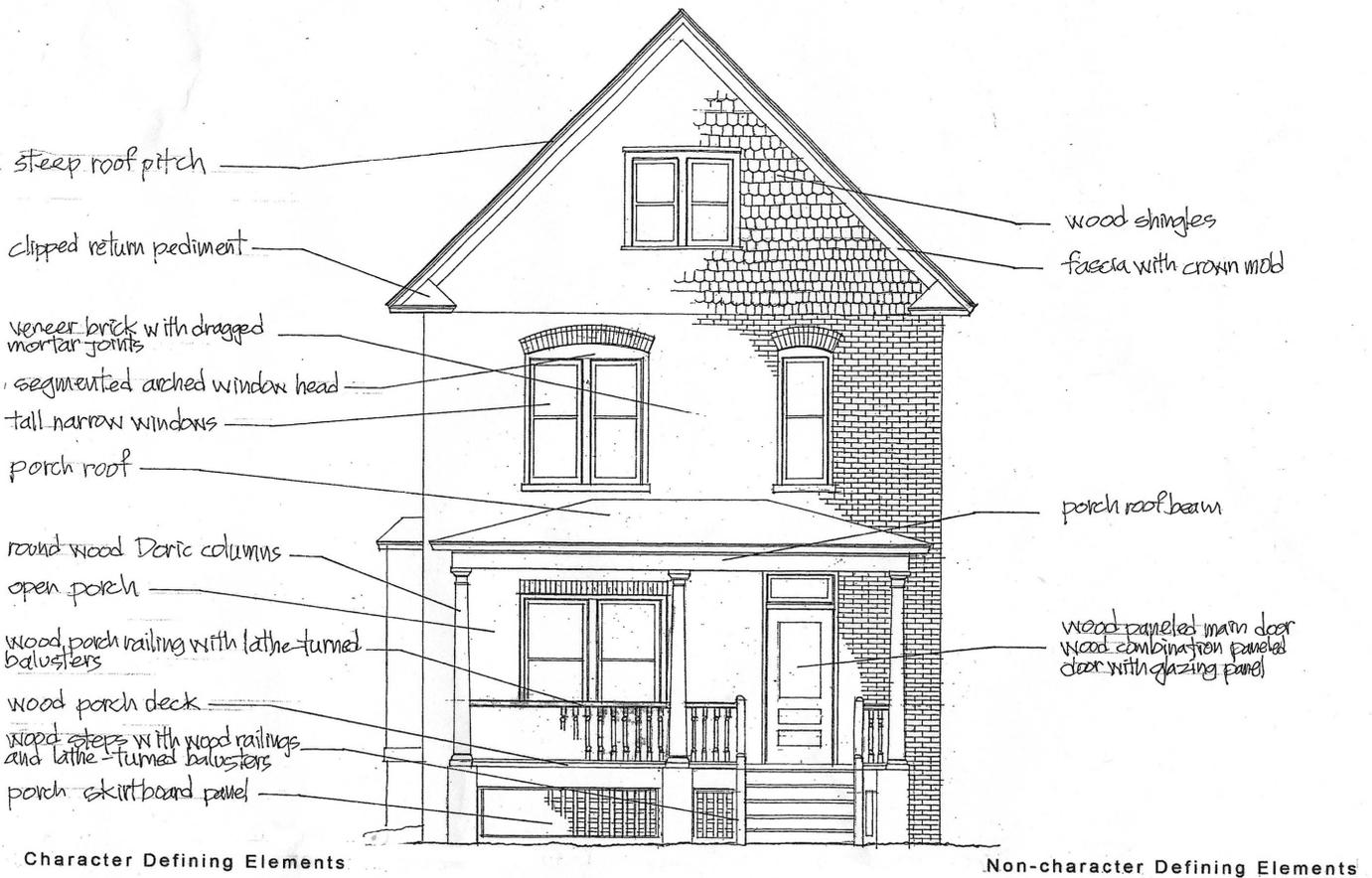


## Façades, Principal Elevations

A house façade shall be defined as the entire wall, with associated architectural elements, that faces the mall or street. (In architectural terms, “wall” is often called “elevation.”) Houses on corner lots shall also include the principal sidewall as a secondary façade.

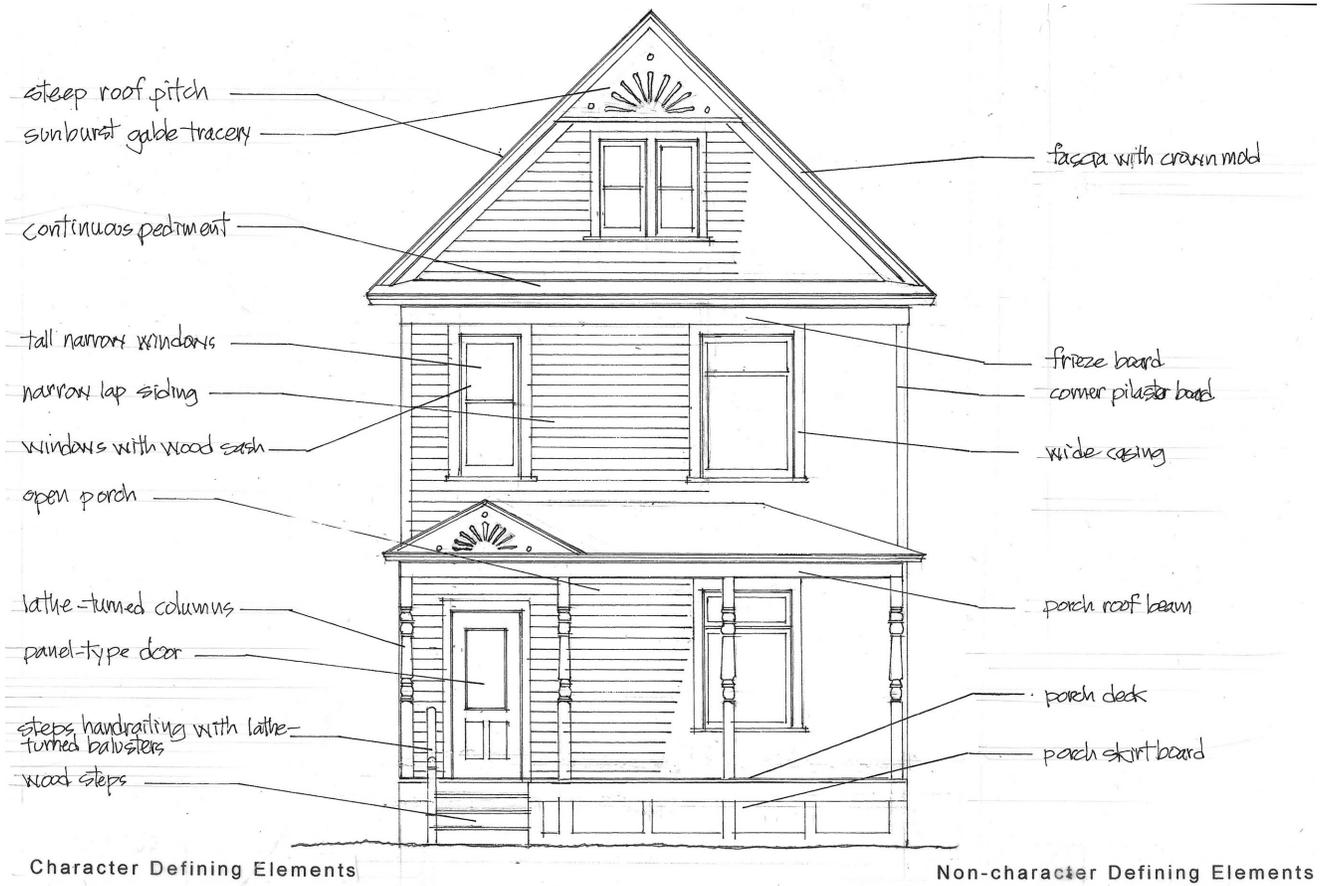
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H



Milwaukee Avenue Brick Duplex

4B



22<sup>nd</sup> Avenue Duplex Architectural Elements



Historic Character-defining Elements

Non-historic Character-defining Elements

### Brick Workman's Cottage Architectural Elements

**!** Defining elements shown above or called out are not meant to be all-inclusive and may vary from house to house.

Houses have certain features or elements that provide the most distinctive aspects of its architectural design, called **character-defining elements**. They typically are:

- Doors and windows, including openings in the walls
- Roof fascia and associated moldings
- Porches
- Roofs: pitches, shapes, shingle materials
- Ornamental features
- Brick on brick-clad houses
- Siding and exterior trim of wood-clad houses

**Non-character-defining elements shall be defined as:**

- Porch skirt-board panels
- Steps
- Mailboxes and house address numbers
- Roof shingle colors
- Miscellaneous trim elements such as crown mold, bed mold, etc.
- Certain elements out of public view, such as side or rear windows, doors, etc.

**1.** Minor changes may be allowed if judged to be compatible with public view areas. Elements of personal expression may be allowed if “retrievable,” or able to be removed without alteration to the house’s architectural character.

**2.** In all cases regarding Milwaukee Avenue historic district houses, and in most cases with houses on 22nd and 23rd Avenues, the façades shall be considered essential features. Their character-defining elements shall be preserved or enhanced, with alterations permitted only if they present highly minimal changes.

**3.** Character-defining elements shall be repaired to exact configurations, scale and material as existing. All practical attempts shall be made to preserve elements in need of repair to avoid replacement. Should replacement become necessary, new materials shall match existing if the existing material represents original material.

**4.** Non-character-defining elements shall be repaired to exact or highly compatible configurations. If repair is not possible, new material may be installed that is highly compatible with the replaced material.



## Exterior Walls

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## 1. Brick

- a. The brick wall covering on all historic district houses and in the four-block area (specifically, 2105 22nd Ave.) is defined as veneer masonry, with its single wythe (width) anchored to wood framing. Brick shall be maintained in original condition. Replacement of brick with other siding materials, or covering brick, shall not be permitted.
- b. Brick joints with worn or deteriorated mortar shall be repointed (formerly called “tuckpointing”) with mortar selected to match original color, joint width, mortar strength and texture. Repointing by experienced trade masons with experience in brick restoration is highly recommended. Joints shall match existing or be given a “dragged” texture.
- c. Brick replacement, if necessary, shall be masonry units matching original in dimensions, color range and surface texture.
- d. Brick cleaning shall be approved by ARC and should be performed by experienced masonry restoration specialists. The objective should be to remove surface impurities but not to return the brick to as-new condition. Sand blasting can deteriorate soft brick and wood lathe and shall not be permitted. Use caution to prevent permanent damage. (See Resource List, attached.)
- e. Brick-arched windows and doors shall not be replaced with flat lintels.
- f. Brick windowsills shall maintain the rowlock brick sills per original construction. A rowlock sill, a series of bricks laid on edge and at a slight downward slope to make their ends visible, sits slightly out from the wall to form a drip edge.
- g. To hide the supporting structure, new brick-veneer walls shall be supported on masonry ledges minimum 3 courses below grade.
- h. See technical references appended to these guidelines for specific information.

## 2. Siding

- a. Repair existing material (e.g., cedar, Masonite) to the extent possible, using recognized carpentry practices, such as filling cracks and narrow gaps with putty, sanding weathered surfaces, re-nailing, etc.
- b. New wood siding in all parts of four-block area shall match existing. Replacement siding shall match existing in lap exposure width.
- c. Within original wood-siding areas, replacement of isolated siding must use matching wood material; substitutions shall not be permitted.
- d. Acceptable materials for replacement or repair: cedar; smooth-faced fiber-reinforced cementitious (e.g., Hardiplank); smooth Masonite only if matches original siding.
- e. Unacceptable siding materials: vinyl, aluminum, steel; simulated wood-grain fiber-reinforced cementitious or composite material.

## 3. Trim

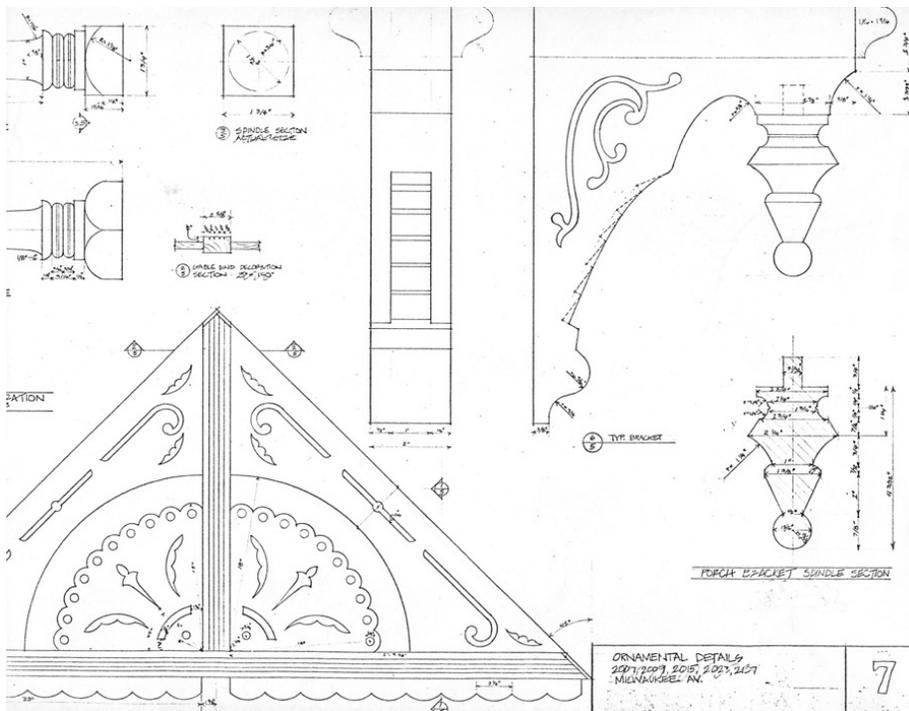
- a. Repair existing material to the extent possible, using recognized carpentry practices, such as filling cracks and narrow gaps with putty, sanding weathered surfaces, re-nailing, etc.
- b. New wood trim shall match or be closely compatible to existing in all parts of four-block area. (Exception: certain elements on façades in the historic district.)
- c. Acceptable substitute materials where wood is present: wood, smooth-faced fiber-reinforced cementitious (e.g., Hardiplank), poly-reinforced composite (e.g., Miratec).
- d. Unacceptable trim materials: vinyl, aluminum, steel; simulated wood-grain fiber-reinforced cementitious or composite material.

#### 4. Ornamentation

- a. The replacement or reinstallation of missing original ornament is strongly encouraged.
- b. Repair existing members to the extent possible, using recognized carpentry practices, such as filling cracks and narrow gaps with putty, sanding weathered surfaces, re-nailing, etc.
- c. Wood ornament replacements shall match existing for all Milwaukee Avenue historic district houses; shall be highly compatible for 22nd Avenue houses where portions of street frontage have a high consistency of architecture; shall be generally compatible at all other parts of four-block area.
- d. New applied ornament shall be used sparingly and with considerable discretion. The objective is to not give a house a history it never had.

#### 5. Lighting fixtures

Recommended lighting fixtures should be simple in design, not overtly imitating a particular architectural style, especially from the Colonial period in America. Lighting fixtures are difficult to select; the overwhelming majority of them depend on an inappropriate historical style at best and sentimentality at worst.





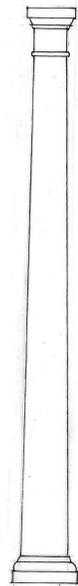
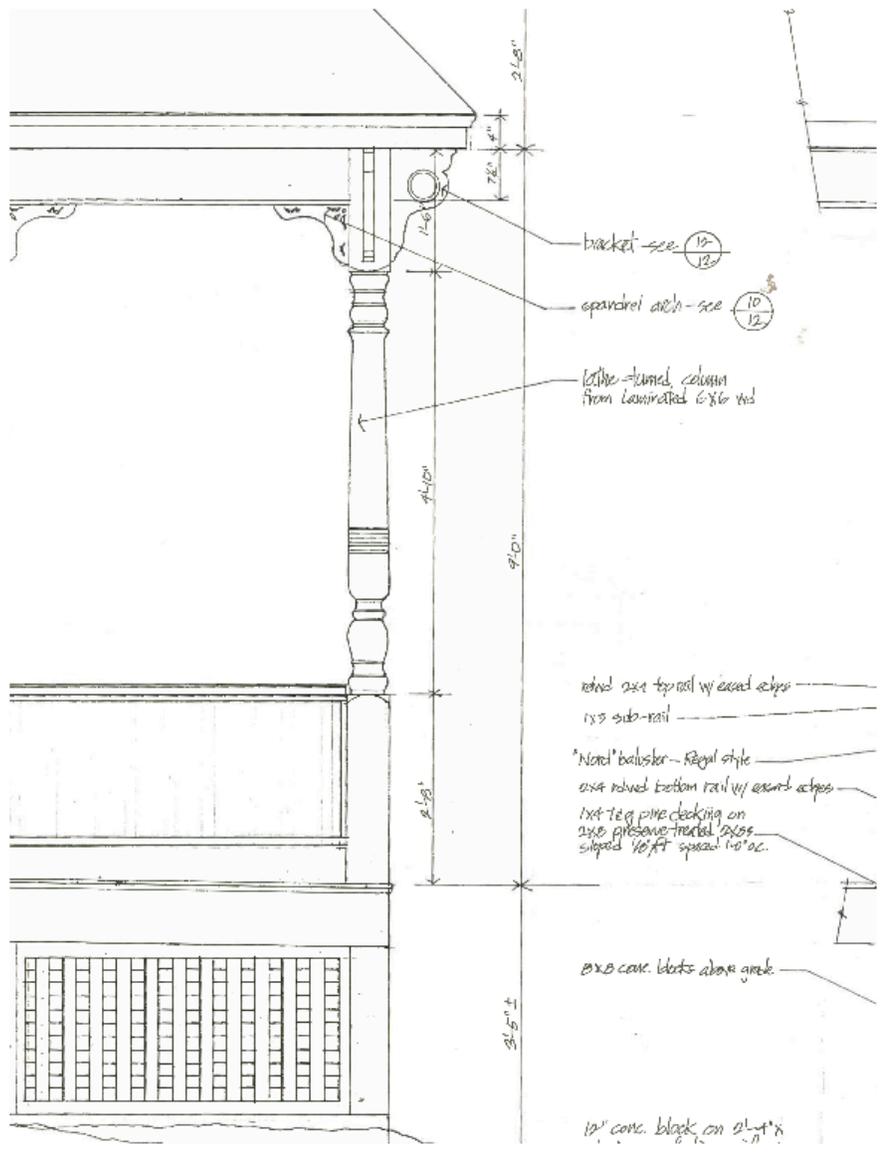
## Porches

Front porches are the most significant architectural feature of houses in the Milwaukee Avenue historic district and in the four-block area. Porches must be given appropriate treatment in all maintenance and repair.

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## 1. Columns

Houses with lathe-turned columns shall require lathe-turned columns of identical or closely compatible architectural profile and proportions. Doric-style columns shall require replacement columns of the same style and column width.



Doric Style Column

## 2. Railings

Some porch decks along Milwaukee Avenue, especially in the northern two blocks, lack railings: either none were present originally, or the porch deck is less than 30 inches above grade and does not exceed two risers. For railing height, refer to building code; however, note that shorter railings are permissible in the four-block area.

Where railings are either present or required:

- H** → a. *Historic district*: Railing material shall be wood, with eased or beveled top edges, with identical or closely compatible lathe-turned spindles and balusters.
- 4B** → b. *Four-block area*: Lathe-turned balusters are recommended, with 2" x 2" balusters accepted.

## 3. Front

Treads and risers shall be of wood, cement or smooth-faced fiber-reinforced composite material. Carriage boards supporting treads and risers shall be of wood or smooth-faced fiber-reinforced composite material. Risers shall be open unless required otherwise by building code. For riser height and tread width, refer to building code.

- BW** → a. *Brick workman's cottages*: Where only two risers are required (maximum 16" vertical dimension), one solid concrete slab (minimum 3 feet in length), with a riser height adjusted as required, is acceptable. All other historic district houses shall have wood steps.
- 4B** → b. *Four-block area*: Wood steps are recommended. Concrete, stone or paver steps shall be permitted. Concrete steps may be allowed for houses without front porches. Wood or wrought iron-type hand-rails may be permitted if installed at concrete steps.

## 4. Porch ceilings

Beaded tongue-and-groove ceilings are recommended. Smooth-faced plywood shall not be permitted.

## 5. Ornamentation

Queen Anne Victorian-style detail for front-porch ornamental elements of historic district houses shall be repaired to identical profiles or replaced in kind. Architectural detail for front-porch ornamental elements of houses within the four-block area shall be repaired to identical or closely compatible profiles, or replaced with closely compatible profiles.

## 6. Enclosure

All front porches in the historic district and four-block area that are open shall remain open; enclosure, either by windows or another means, and other elements shall not be permitted.

## 7. Color

Paint colors shall complement and be consistent with the main house colors. Individual architectural ornamental elements, porch-railing balusters, brackets, etc., may feature an accent color with ARC approval.

## 8. Front porch decks

- H** → a. *Historic district*: Repair or replacement shall use fir tongue-and-groove members blind-nailed to deck joists.
- 4B** → b. *Four-block area*: Fir tongue-and-groove members blind-nailed to deck joists are preferred. No pine or composite material shall be allowed. Slope for drainage is recommended.

## 9. Rear/side porches

- BW** → a. *Brick workman's cottages*:
  - May be open or enclosed with screens or windows.
  - Exterior walls and roof shall be maintained in their original dimensions, shapes, siding and trim materials.
  - Unlike the front porch, windows may be altered in sash dimensions and window types.

- Window sash and trim shall be wood or smooth-faced fiber-reinforced cementitious material. Aluminum and vinyl sash shall not be permitted.
- Door replacement should replicate or closely resemble original design.
- Door alteration shall replicate or closely resemble original design and retain glazing panel and wood inset panels.
- Door material shall be wood or smooth-faced fiberglass. Aluminum or vinyl shall not be permitted.

4B → b. *Four-block area:*

- May be open or enclosed with screens or windows.
- The retention of original dimensions, shapes, siding and trim materials is encouraged, with repair or necessary replacement to maintain original materials to the fullest possible extent.
- Alteration of original architectural design, including modest enlargement, is permissible if compatible to the house and neighboring houses.
- Materials shall be smooth-finish wood or smooth-faced fiber-reinforced cementitious type. Aluminum or vinyl shall not be permitted.

## 10. Skirtboards

Skirtboards are panels of vertical wood strips or narrow criss-crossed lattice that often appear between the porch-deck facing and the ground. These panels serve both functional and decorative purposes, providing a physical and visual barrier spanning the porch deck and ground. Intricate yet simple, skirtboards complete a façade's appearance.

Skirtboards, especially lattice, are commonly constructed of thin, inexpensive wood, resulting in reduced durability. The thin wood strips of cheaply priced lattice soon becomes uneven, with missing strips and broken edges. Also, lattice attached directly to porch framing results in a tacked-on look.

BW → a. *Brick workman's cottages:* Houses with porch decks at or close to the ground need no skirtboards; a simple wood horizontal facing suffices.

4B → b. *Four-block area:* On porches of two or more feet between the porch deck and ground, skirtboards shall be installed. Vertical wooden skirtboard with open spaces of an inch or two is preferred. Lattice is also acceptable; pattern can be diagonal or vertical-horizontal.

## 11. New porches

H → a. *Historic district:* Replacement of front and side/rear porches may be allowed only in the event of substantial damage to the existing porch. These porches shall replicate or substantially improve the original porch design.

4B → b. *Four-block area:* Front porches may be rebuilt only in the event of substantial damage to the existing porch. These porches shall exactly replicate the original porch, unless the homeowner can make the case for a proposed porch to be equivalent or superior in architectural design.

Investing in high-quality skirtboards will save you expense in later repair and/or replacement, while enhancing the appearance of your home. Skirtboard lattice lasts longer when attached on all four sides with a rigid wood frame.

# IV.

## Roofs

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## 1. Pitch

- H** → a. All historic district houses and most within the four-block area have 12:12 roof pitches as measured by the ratio of their vertical and horizontal dimensions.
- 4B** →
- BW** → b. *Brick workman's cottages*: For the rear one-story section, the roof pitch is 6:12. Front-porch roofs are of mansard type, which has a nearly flat top with an edge slope of somewhat greater than 12:12.

Porch roofs shall maintain the same pitches and architectural profiles as original design. Repair and replacement of elements shall maintain identical profiles for Milwaukee Avenue houses and closely compatible profiles for other houses in the four-block area.

## 2. Shingle replacement

Shall be of asphalt or fiberglass composition. Shingle color shall be in the earth-tone range, with color approved by ARC.

## 3. Skylights and Solatubes

Shall be permitted if they are installed parallel to the plane or slope of the roof. No more than two such roof devices shall be permitted per roof slope.

## 4. Chimneys

Chimneys on brick houses shall be of the same color as the main brick walls of the house. Chimneys on other houses shall reflect an appropriate brick color familiar to the neighborhood.

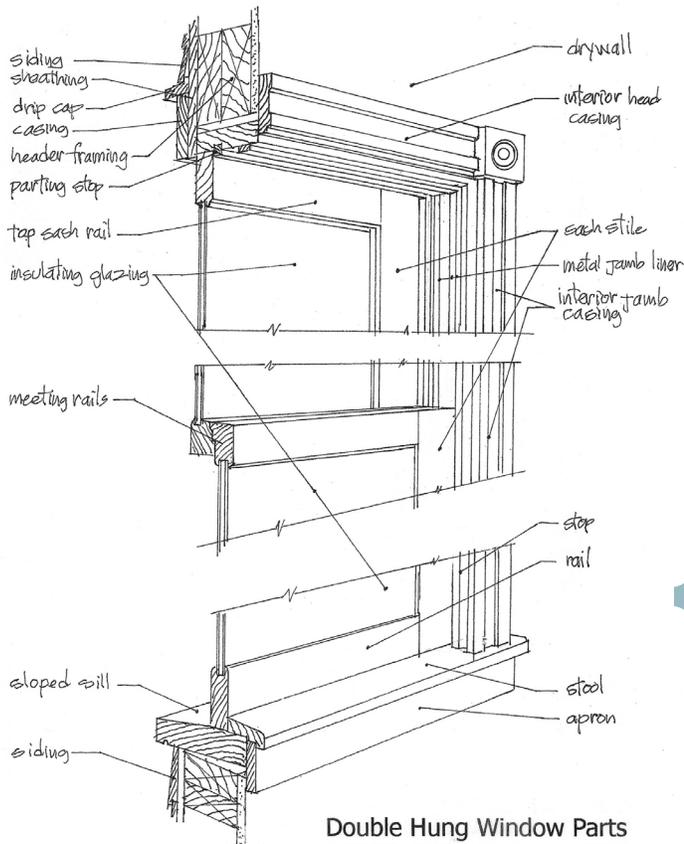
*Note:* The chimney-type enclosures on houses rehabilitated in the 1970s replaced the traditional solid-brick chamber type used for space heaters, the main heating source since original 1880s construction. These replacement enclosures contain metal flues used by furnaces that supplied central heat for the first time. They are wood-framed enclosures with thin brick facing and metal caps through which the flue extends. If enclosure is no longer intact, replacement is recommended.



## Windows & Doors

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## A. Windows



Windows are hotly debated topics within architectural preservation. Balancing the need for highly functional, low-maintenance, environmentally adept windows while maintaining the aesthetic impact of original windows and associated materials can be difficult—though not impossible.

Windows have several important functions: To provide light, air circulation, climate control and views to the exterior world. As architectural features, the smooth glass openings relieve the solidity of walls and establish a consistent cadence along the block, and their placement contributes to a façade's composition.

## Details about windows

- Typical windows in the four-block area are double-hung, with upper and lower sashes that slide up and down for ventilation purposes. The sashes are tightly fit into wood weather-stripped frames.
- Double-hung windows are characterized as being “one over one,” meaning each sash has one glass pane. A two-over-two sash signifies two panes in each sash, separated by a thin wood strip called a “muntin.” Other window sash configurations can be four over four, six over six, and sometimes two, four or six over one; these windows are generally classified as divided lights and are not permitted in the Milwaukee Avenue historic district.

### A note regarding phasing of window replacement

To maintain visual harmony within the four-block area, if you’ve exhausted your window-repair options and elect, with ARC and HPC approval, to replace your windows:

- Ideal: Replace all windows at same time.
- Acceptable: Replace all windows on same façade elevation.
  - Allowable under certain circumstances:  
Replace individual window to match majority of façade.

### 1. Window repair

In almost all cases, existing original windows may be repaired, thanks to recent window-restoration technology. Homeowners are encouraged to examine this option before proposing the installation of new windows. Most existing windows have insulating glazing (two layers of glazing), although some pre-1970s-rehab single-glazed windows may be extant in the Milwaukee Avenue houses and in the four-block area. For single-glazed windows, the second layer of glass may be achieved with combination storm/screen units.

### 2. Masonry openings

All existing masonry and rear/side porch window openings, including arched window heads, shall be maintained with no alteration to opening dimensions. If new replacement windows become necessary, they shall be custom-fabricated sash, allowing existing casing to be replaced with identical dimensions and profiles.

### 3. Divided lights

To conform to neighborhood period features, windows shall not be of divided-light variety. One-over-one windows are standard.

### 4. Storm/screen combination windows

- a. Repair: If necessary, repair existing combination windows to the fullest extent possible.
- b. Replacement: If combination windows are too deteriorated to repair, replacements shall closely resemble existing wood combination units.
  - Separate storm units and screen units are preferable.
  - Combination storm/screen units shall be composed of wood sash with narrow aluminum channels encasing glass and screen panes inserted into slide tracks for vertical sliding operation.
  - Combination windows shall be one-over-one sash, with clear glass and without divided lights.

## 5. Materials

- H → a. *Historic district*: Wood is preferred.
- 4B → b. *Four-block area*: Wood or enameled metal shall be permitted.

## 6. Sash color

- H → a. *Historic district*: Sash color shall be black or, with ARC approval, consistent with exterior paint color scheme.
- 4B → b. *Four-block area*: Combination window sash shall be black, dark bronze or, with ARC approval, consistent with color scheme.

## 7. Sash replacement

In many situations, existing window frames may be repaired and retained.

## 8. New window creation

- H → a. *Historic district*: New windows on façades shall not be permitted. New windows may be permitted on a case-by-case basis out of public view if their location does not disrupt the architectural design character of the house.
- 4B → b. *Four-block area*: New windows on façades and principal elevations shall only be permitted on a case-by-case basis. New windows may be permitted out of public view if their location does not disrupt the architectural design character of the house.

## 9. Window trim/casing

For houses with brick openings, casing around windows shall be flat type and highly compatible to original window openings. For houses with wood siding and trim, trim shall be approximately 3½" wide, with wood sills extending under bottoms of jamb trim, with a slight downward slope, slightly out from the wall to form a drip edge.

## 10. Glass-block inserts

- a. Above grade: Shall not be permitted in the historic district or four-block area.
- b. Below grade: Shall not be permitted in the historic district; may be permitted in other four-block area window applications.

## 11. Opaque privacy glass

May be permitted within standard double-hung windows, but will not be permitted on the façade surface.

## 12. Awning-type windows

Awning-type windows have a top hinge that open from the bottom. They shall be permitted in certain basement applications except on façades.

## 13. Egress windows

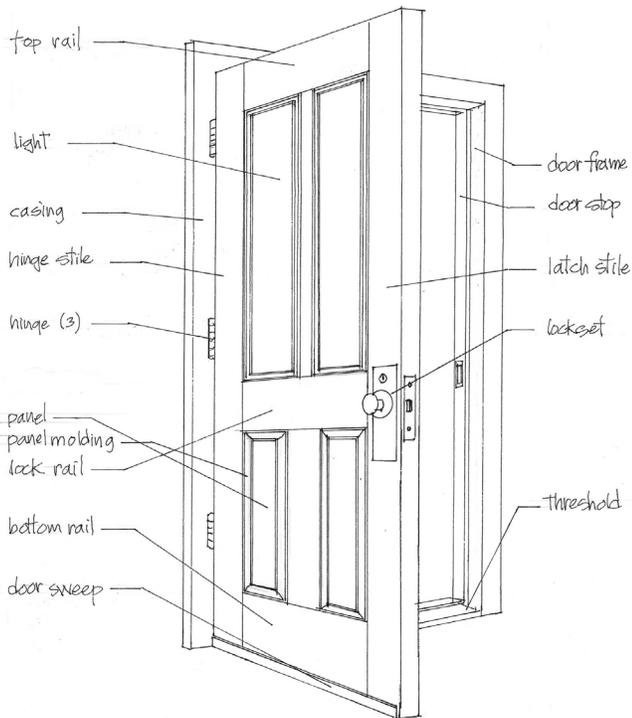
- a. Egress windows are a building code requirement for legal bedrooms, including those in the basement. Please refer to City of Minneapolis building code for complete specifications.
- b. Types: Casement (opened by hand-crank) shall be permitted in basement egress windows.

Egress casement window units are preferable because their measurable clear-opening size is much larger than a double-hung window of the same size.

- c. Requirements: Typically include a window sash with 5.7 sq. ft. of clear opening, with a maximum sill height of 44" above the floor. An exterior window well of sufficient size is needed for resident escape and entry by a fire fighter.

- d. Window well dimensions: Typically 4' wide across the basement wall by a minimum 3' outward dimension. The depth of the opening depends on the height of the house's first floor above grade, and typically measures approximately 4'. Building code may require a ladder.
- e. If casements are placed above grade, a simulated checkrail is required. A checkrail is the meeting location of horizontal sash members on a double-hung window that fits tightly together when both sashes are closed. The simulated check rail on a casement window can be a thin horizontal wood strip applied to the outer face at mid-point of the window glass.
- f. Window well materials:
- Preferred: 6" by 6" wood timber construction for walls, preservative treated, with top course of timbers at 6" above grade.
  - Acceptable substitutions: galvanized steel, stone/block or concrete wells for egress and basement window wells that are not egress.

## B. Doors



Exterior Door Parts

NOTE: A repaired door, or any architectural part of these houses, will never look "new." Its patina should be seen as a positive attribute contributing to the historic character of the district.

Many doors along Milwaukee Avenue are original, or are 19th-century doors installed during the 1970s renovation. Doors are the hardest-working architectural element of a house. Like windows, doors are moving parts; however, doors operate multiple times a day whereas windows are used less frequently, especially in the age of air conditioning. The need for door maintenance is inevitable: attention will need to be paid to hinges and locksets, especially should they malfunction.

## 1. Front doors

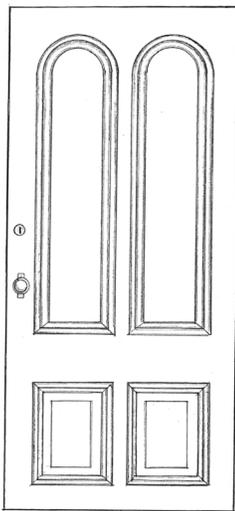
### a. *Historic district:*

- All front entrance doors should be repaired to the fullest extent possible.  
*Note:* Construction industry people can supply recommendations for experts in door repair.
- If a new door becomes necessary, replacement doors shall be highly compatible, but not need match, the original.
- Transom windows, if existing, shall remain if front door is replaced.
- Materials: Only doors made of wood and glass shall be permitted.

H →

### 4B → b. *Four-block area:*

- Materials: Wood is recommended; fiberglass is acceptable if closely compatible with existing wood doors.



## 2. Rear/side porch doors

- a. Wood is recommended; fiberglass is acceptable if closely compatible with existing wood doors.
- b. Shall be repaired when possible.
- c. If a new door becomes necessary, replacement doors shall be highly compatible, but not need match, the original.
- d. Sliding and French-type doors shall be acceptable if they fit the character of the home.
- d. Metal storm doors shall only be permitted on rear façades unless clearly visible from Milwaukee Avenue; metal doors shall be painted black or to match exterior color/window scheme.
- e. Required door type shall generally be one or two lower panels, with a single glazing panel.

## 3. Combination or storm doors at façade

- BW → a. *Brick workman's cottages:* Only wood shall be permitted.
- H → b. *Historic district/four-block area:* Wood is preferred; solid fiberglass acceptable if closely compatible with existing wood combination doors.
- 4B →

## 4. Glazing

- a. Front doors: Window glazing shall be single-pane safety glass or tempered thermopane; no divided lights shall be permitted.
- H → b. Rear/side doors: Historic district and four-block area: single-light glazing recommended; divided lights shall be permitted.
- 4B →
- c. Stained/leaded glass set within doors shall not be permitted.



Doors on brick workman's cottages: Many front doors feature a pair of arched windows with well-defined moldings around glass and lower panels. These doors are important character-defining elements, and every effort should be made to repair them. Tip: Surface nicks and gouges can be easily resurfaced by applying wood putty and sanding the damaged area and adjacent surfaces as required.

# VI.

## Fences

Fences provide a seemingly minor, yet very functional feature in yards, determining boundaries and private space. Well-designed fences can lend a sense of minimal but sufficient enclosure, while providing aesthetic interest for the neighborhood.

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Over time, some fences have encroached on MAHA property. To preserve ample room for plowing and utility services, and reduce the likelihood of damage, fences must be installed or reinstalled along the homeowner's legal property line. If the exact property line placement is unknown, the commission of a formal survey will likely save both money and headaches.

#### Not permitted:

- Plastic material, chainlink and cyclone-type mesh material
- Fences higher than 3'-6"

#### Fence structural recommendations:

- Basic height dimensions: 3'-0" recommended, 3'-6" allowable. Taller than 3'-6" is prohibited.
- Materials: Wood; wrought iron or other metals with rigid rails and balusters (vertical members); metal wire with rectangular open spaces.
- Wood fences: approximately 2" x 4" top and bottom rails; balusters or pickets: 1" + - thickness by 3" + - width; spacing between balusters: at least the width of the typical baluster. Posts: 4" x 4".

Wood fence design is determined by the style of the picket. Pointed arched tops are most common, as are angular pointed picket tops or beveled picket tops. Solid panels with no open spaces are prohibited.

- Wrought iron: approximately ½" square profile baluster thickness, with approximately 4" to 6" spacing. Posts: approximately 1" square profile thickness.



# VII.

## Paint

Yes, paint-color selection is subjective; however, certain color ranges work well for historic houses and lend harmony throughout the neighborhood.

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Manufacturers frequently carry “historic palette” lines. This is often a good place to begin when considering colors—though the Painted Ladies of San Francisco will likely be too flamboyant for workman’s cottages of Minneapolis.

1. Paint colors shall be reviewed and approved by the ARC and MAHA. The objective of the review is not to select a particular color, but to advise on an appropriate color scheme. It is advisable for applicants to submit proposed colors well in advance of the painting process. See technical section for additional information.
2. Earth-toned colors are highly recommended, though not exclusively approved. Generally, earth-toned colors have more than one hue: a main hue, such as red, green, brown or black, with various complementary colors identified according to manufacturers’ descriptive imagination.
3. For aesthetic interest, use of one dominant color combined with one or more accent colors is encouraged. Accent colors may be used for trim work on doors and porches.
4. Metallic, fluorescent and Dayglo color paints are not permitted.
5. Window sash and wood combination sash ideally shall be painted black or to match exterior color/window scheme.

# VIII.

## New house design & construction

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1. In the (let's hope unlikely) event of fire or similar property destruction, the new replacement structure shall be a substantial reproduction of the original; either an exact or nearly exact replica, or an interpretation of the original if the design incorporates highly similar massing, scale, height and width. To maintain the continuity of the collective streetscape, the most forward section of the structure shall replicate the same width as adjacent and nearby houses.
2. Design components such as window and door openings and roof pitches shall complement nearby houses. Front porches shall be mandatory and shall complement, but need not replicate, existing porches.
3. Ornament whose design varies from original may be permitted by ARC/MAHA with the following considerations:
  - BW → a. *Brick workman's cottages*: No variance will be permitted with houses.
  - H → b. *Historic district*: Ornament should be compatible but need not replicate original design.
  - 4B → c. *Four-block area*: Ornament may depart from original if design is complementary and compatible with nearby houses.
  - d. No ornament shall be based on historic styles not in keeping with the area: e.g., Craftsman, Greek Revival, Tudor.
4. Roof slope of 12/12 is mandatory for all new replacement houses on Milwaukee Avenue and 22nd Avenue houses where existing houses adjacent on both sides are 12/12; recommended for houses within the four-block area.
5. Modern architecture (on west side of Milwaukee Avenue and 22nd/23rd avenues): As stewardship of the Milwaukee Avenue historic district and four-block area is MAHA's contribution to American architectural history, the obligation for a new house to represent the era of its construction should be strongly considered. Its design can embrace modern sensibilities and also reflect the history of its immediate surroundings. Such references shall consist of quality materials and, perhaps, a consistent roof pitch, window rhythm, porch proportion and/or narrow lap siding.
6. Threshold heights—the distance between door threshold and grade—shall be equivalent to adjacent houses.

# IX.

## Additions/outbuildings

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## 1. Additions

Exterior elements in public view will be given primary importance, with other parts given less consideration.

### H → a. *Historic district:*

- Front: Façades are in direct public view and possess architectural design features that could be disrupted by noticeable alterations. Allowable changes may be replacement of window units (but not the masonry openings), the fascia and crown mold at the edge of the frieze board just below the roof edge members, and the repair of the combination storm/screen door using materials of the same architectural profiles.
- Sides: The simplicity of the house sides makes minor alterations permissible, such as slight “bump outs”; however, substantive changes may be impermissible if determined to be incompatible with the home’s architectural character.
- Rear: Because rear walls are out of public view, minor changes, including additions or garages, may be permitted if their scale is consistent with the existing house and will not cause historical interference.

### 4B → b. *Four-block area:*

- Dormers: Shall be permitted but the shape—whether gable or shed—scale and position on roof must be approved.
- Front façades of 22nd Avenue duplexes: May receive minor surface alterations, but additions extending from façades will not be permitted.
- Front façades of other houses: May receive minor additions if their architectural components can be judged to complement the design of the façade.
- Sides/rear: Additions in scale with the main house may be permitted.

## 2. Outbuildings

a. Garages: May be difficult to position on our small lots. ARC and MAHA will consider proposals with attention to impact on neighboring association properties, lot-to-build ratio and setbacks.

- Structures shall be in scale with the yard.
- Doors: One overhead door is recommended, maximum width: 16'.
- The design and roof pitch can vary from primary house on the site.
- Materials shall generally conform to surrounding buildings.
- Aluminum and vinyl wall coverings shall not be permitted.

b. Carports, utility sheds, gazebos, pergolas and other detached structures:

- Structures shall be modest in size and in scale with the yard.
- The design can and, indeed, should vary from the primary house on the site.
- Materials shall generally conform to surrounding buildings.
- Aluminum and vinyl wall coverings shall not be permitted.

**X.**

## Site work & landscaping

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As good neighbors in close proximity to others, homeowners should be thoughtful about how their enjoyment enhances the four-block area without adversely affecting those living around them.



### 1. Retaining walls

Recommended material: Natural stone, brick or rock-faced concrete block. Rock-faced modular brick and timber are discouraged. Artificial stone shall not be permitted.

### 2. Private spaces

Each yard space allows for the private enjoyment of its property owners. For the most part, the ARC neither governs how that yard space is used, nor any minor construction within. However, if your plans include items that may not be retrievable or easily undone, such as a gazebo, a trellis with concrete footings, or the Seward version of the Trevi fountain, make a proposal to the ARC and MAHA.

- a. Hardscaping: Patio space shall use materials (e.g., flat masonry pavers, granite pavers or pea gravel) that are earth toned in color; poured concrete shall be scored into rectangular patterns, and should incorporate earth-toned dyed surfaces.
- b. Drainage: Given the narrow lots that make up most MAHA properties, the installation of proper drainage to avoid flooding one's own and neighboring home and yard is imperative.
- c. Rainware
  - Gutters/downspouts: If already installed, shall be maintained in good condition, and painted in home's dominant color or as to minimize prominence. If to be installed, the historically appropriate form is a half-moon shape, though beveled gutters shall also be permissible.
  - Rainbarrels: Shall be sealed to thwart mosquito breeding and placed to minimize prominence.

- Splashblocks: Shall be of stone or brick. Plastic/vinyl materials shall not be permitted.

d. Softscaping: Plantings shall be in scale with their surroundings.

e. Trees: Large trees shall be kept to a minimum number. Deciduous trees are highly recommended in place of conifers.

f. Shrubs: Deciduous and conifers, such as yews, should be in scale with the home and with modest height.

### 3. Public spaces

The special quality of the urban space in the four-block area hinges on the varied relationships among groupings of residential structures to the public open spaces.

Any site construction shall emphasize preserving these parts of public open space in careful relationship to groupings surrounding them, as well as the ancillary private spaces belonging to these structures.

Public open space should be maintained to the fullest extent possible.

Accordingly, any built structures and tree plantings shall be set in place with site plan study and consideration as to how they might affect the overall characteristics of the open spaces. Site plan study shall occur over a sufficient period of time, with representatives of all parts of the four-block area, as guided by ARC in the early phases and through the final plan. The MAHA board shall review the site-planning process at intervals as appropriate.